

# Site Review Permit Instructions for Applicants

## Criteria for Site Review Permit

Site Review Permits are issued for approval of conceptual plans for development projects. Review of detailed plans for the project is required by jurisdictional agencies prior to approval of construction permits. A Site Review Permit is not a building permit.

To insure that certain small developments are consistent with County regulations and are processed with a minimum of delay, a Site Review Permit may be secured in lieu of a Site Development Permit. A Site Review Permit shall be secured prior to construction or expansion of building projects valued at less than \$500,000, as determined by the current Building Standards valuation tables, in any C-O, C-1, C-2, M-1, M-2, MU, BP, K, R-2, or R-3 zoning district, provided the project meets all of the following:

- A. It is categorically exempt from environmental review under the California Environmental Quality Act (CEQA).
- B. It meets all of the standards for development under the respective zoning district specified in the Tuolumne County General Plan and the Ordinance Code.
- C. It will not require grading on land having an average slope exceeding 10%.
- D. It will not require a new encroachment permit for access onto a State Highway.

In order to calculate project valuation, all existing and proposed improvements to the project site must be considered. Improvements to the site include: buildings, grading, paving, graveled areas, and landscaping.

Pursuant to Section 17.68.122 of the Ordinance Code, the Community Development Director may exempt the following from the requirement to obtain a Site Review Permit:

- A. Construction consisting of exterior repair;  
Construction consisting exclusively of interior remodeling;  
Construction which adds 50% of the floor area of the structure before the addition, or 2,500 square feet, whichever is less; and/or  
Construction which adds appurtenances, such as fences or overhangs, to exterior areas used for the operation of a permitted use on the site prior to the addition.

- B. Development for which a Development Agreement has been issued, provided review of the development is similar to that required for a Site Review Permit.
- C. Development for which a Use Permit has been issued, provided review of the development is similar to that required for a Site Review Permit.
- D. Construction of the first single-family residence, duplex or triplex on a single parcel of land zoned for such use; provided the value of the first residence or unit shall be used to determine the subsequent permit requirements.

The proposed project must be consistent with the maps and policies of the County General Plan. It is recommended that the applicant meet with a Planning Division member to review the nature of the project prior to submittal.

### **Application Review Process**

At the time of submittal, the application will be reviewed for completeness. Incomplete applications will not be accepted. If the project requires access onto a State highway, the application must include a letter from Caltrans stating that no new Encroachment Permit is required for the project. The application will be circulated to applicable advisory and County agencies for comments.

Projects requiring a Site Review Permit must be categorically exempt from environmental review under CEQA. The intent is to streamline the permitting process for simple construction projects which meet County requirements, while insuring review by affected agencies.

Before approving a Site Review Permit, the Community Development Director shall find that under the circumstances of the case, the proposed development would not be substantially detrimental to the health, safety, or general welfare of persons residing or working in the neighborhood of the proposed use.

Projects located within the boundaries of the Tuolumne City and Twain Harte Area Planning Advisory Committees will be referred to those bodies for review prior to decision. Projects located on property zoned :H (Historic Combining) or :HDP (:Historic Design Preservation Combining) must be referred to the Historic Preservation Review Commission for review prior to decision.

The Community Development Director may schedule a Site Review Permit for a public hearing before the respective Planning Commission. Projects located on property within the boundaries of the Jamestown and Columbia Area Planning Commissions will be referred to those Commissions for decision.

The applicant or any aggrieved party may also appeal the decision of the Community Development Director. The appeal must be in writing and must be made within ten days of the decision. The Site Review Permit will then be heard by the Planning Commission having jurisdiction over the project site.

If the applicant or any aggrieved party is dissatisfied with the decision of the Planning Commission, they may within ten days appeal to the Board of Supervisors. Any County Supervisor may also file a request that the matter be referred to the Board of Supervisors

for their review of the action of the Community Development Director or the Commission in granting or denying the Site Review Permit.

Notice of any hearing before the Commission or the Board of Supervisors will be published in the Union Democrat at least ten days prior to the hearing.

Whoever grants a Site Review Permit may attach conditions to insure the development proposed is consistent with the Tuolumne County General Plan and Ordinance Code.

If your property must be rezoned before it is eligible for a Site Review Permit, the Site Review Permit cannot be issued until after the Board of Supervisors approves the zone change.

### **Expiration of Permits**

If the change in land use for which a Site Review Permit is granted is not begun within three years of the date of final approval, the Site Review Permit shall expire and be of no further effect. Three one-year extensions may be granted by the Community Development Director upon written request of the applicant, if made prior to the previous expiration date. The Site Review Permit may be revoked by the Community Development Director if the proposal and conditions are not carried out as approved.

# Site Review Permit Required Submittals and Information

1. Tuolumne County Land Development Application.
2. Project Valuation Form.
3. Fee of \$\_\_\_\_\_.
4. Vicinity Map. Should show nearest intersection and any landmarks. May be drawn at a small scale on the site plan.
5. Site Plan. Number of copies:\_\_\_\_\_. Requirements and an example are attached to these instructions. For requirements for grading and landscaping plans, see items 12 and 13 below.
6. Reduced Site Plan. Number of copies:1. Size requirement - 8 1/2" x 11".
7. Services Availability Letter. A "will-serve" letter from a water or sewer agency may be required depending on the proposed use, zoning district and General Plan designation.
8. Legal Description. A metes and bounds description of the dimensions of the project site that may be obtained from the deed.
9. Floor Plans. Number of copies:\_\_\_\_\_. Submit floor plans of all proposed buildings.
10. Exterior Elevations. Number of copies:\_\_\_\_\_. Submit plans of front, rear, and side elevations. Indicate proposed colors and materials for siding, roof, windows, etc. Identify the location of attached signs.
11. Reduced Exterior Elevations. Number of copies:1. Size requirement - 8 1/2" x 11".
12. Preliminary Grading Plan. Number of copies:\_\_\_\_\_. Information on this plan should include (a) topographic details, (b) soil type, depth and erodibility, (c) proposed cuts and fills, (d) amount of earth to be moved, (e) storm drainage facilities, (f) blasting, (g) erosion control measures, temporary and permanent, (h) if located adjacent to State right-of-way, show estimated drainage of impervious areas and location of terminal relief, (i) cross-sections of cut and fill slopes.
13. Landscaping Plan. Number of copies:\_\_\_\_\_. Should include:
  - (a) existing vegetation to be retained.
  - (b) existing trees with 6" diameter or larger to be removed.
  - (c) location of proposed vegetation.
  - (d) sizes and species of proposed plants.
  - (e) fences, planters and other landscape features.
  - (f) erosion control measures.
  - (g) irrigation system layout.
14. If the project will require access onto a State highway, the application must include a letter from Caltrans stating that no new Encroachment Permit is required for the project.
15. For review by the County Sheriff's Department submit details on outdoor and hallway lighting, locking devices on doors, silent or audible alarm systems, and other features that may discourage criminal activity.
16. Additional Information as determined by the Environmental Coordinator to facilitate the formulation of mitigation measures to enable the project to qualify for the preparation of a mitigated Negative Declaration instead of an Environmental Impact Report (EIR) pursuant to the California Environmental Quality Act (CEQA).

**Incomplete Applications will not be Accepted**

# Site Review Permit

## Site Plan

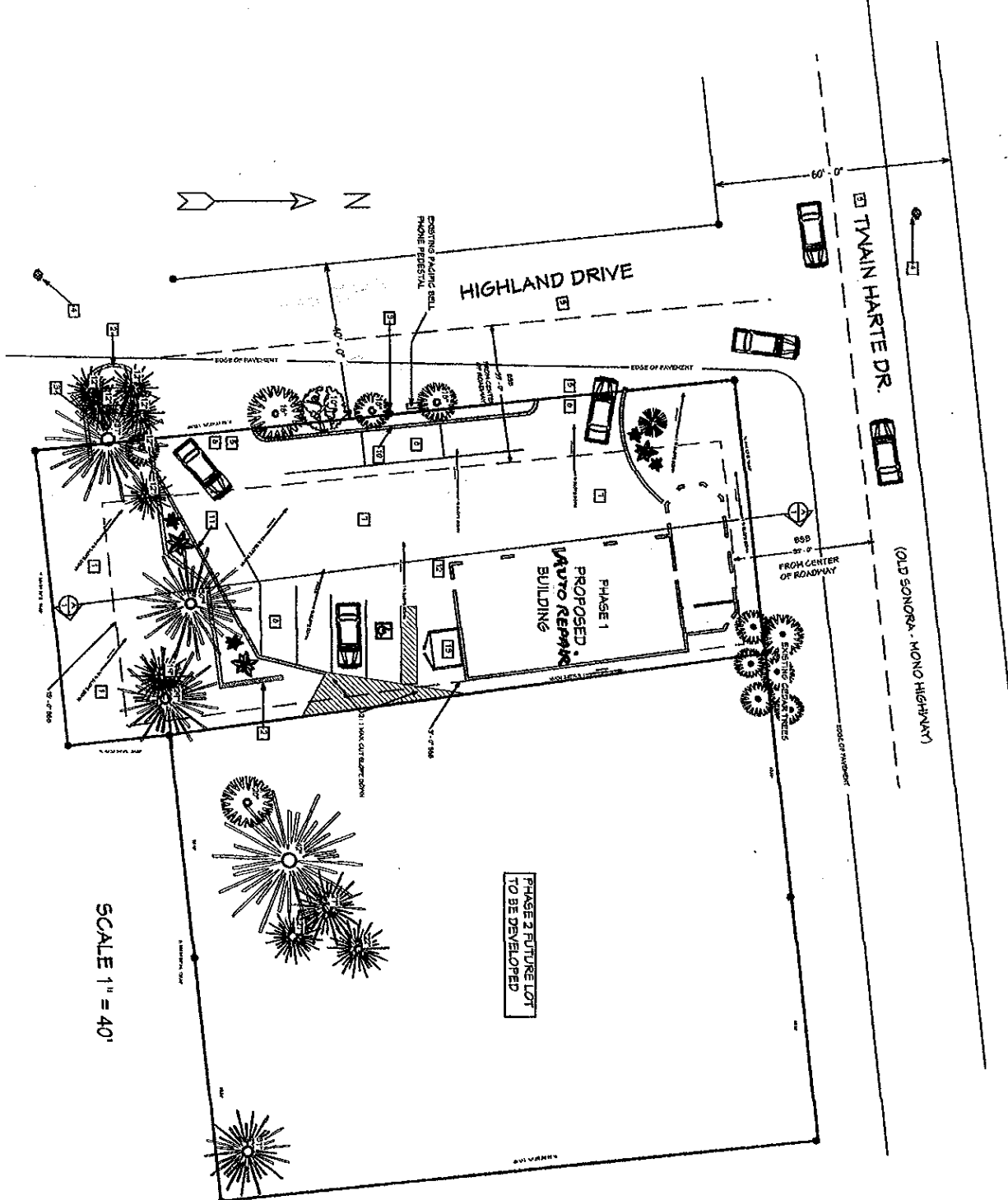
### Required Details:

- A. The plan must be drawn in ink on paper of good quality using a minimum size of 18" X 24" and at an appropriate engineers scale.
- B. North arrow and scale used.
- C. Dimensions and area of property. Show all corner monuments.
- D. Access - deeded or dedicated.
- E. Sight distance from driveways.
- F. Location of all road, drainage, utility or other easements.
- G. Layout and dimensions of proposed structures, including setbacks from property lines.
- H. On-site parking and vehicular circulation pattern.
- I. Pedestrian walkways and circulation pattern.
- J. Location of proposed signs.
- K. Location of all water courses, wells, rock outcroppings and other existing features of the site which are to be retained or modified.
- L. Location of TUD ditch, if on project site or adjacent property.
- M. An 8 1/2" x 11" reduction of the site plan must be submitted along with the scaled plan.

**See Next Page for Sample Site Plan**



EXAMPLE SITE PLAN



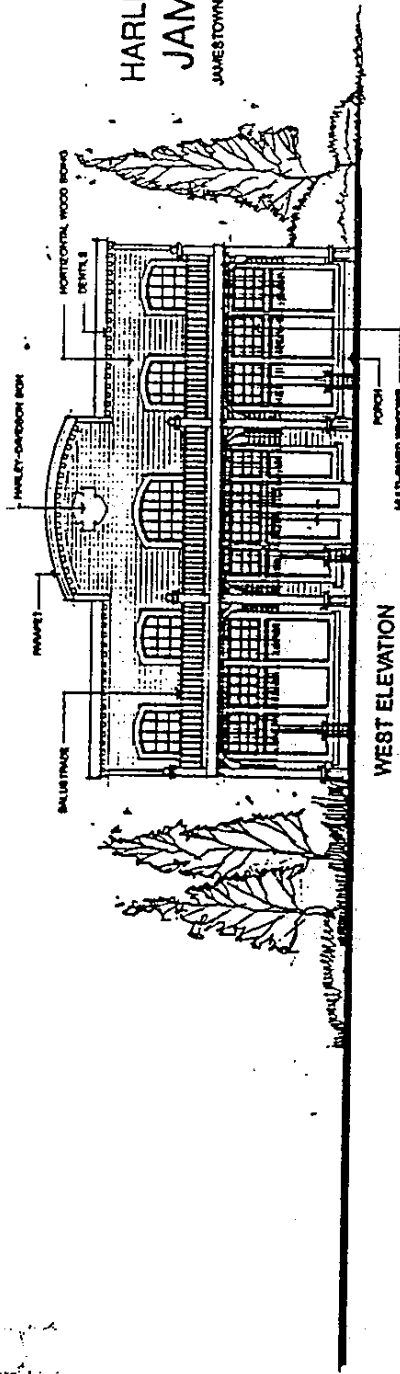
SCALE 1" = 40'

- |  |                       |
|--|-----------------------|
|  | SITE PLAN NOTATION    |
|  | EXISTING DOOR'S SIGN  |
|  | EXISTING DOOR WALL    |
|  | EXISTING UTILITY WALK |
|  | EXISTING PAVEMENT     |
|  | EXISTING SIGNAGE      |
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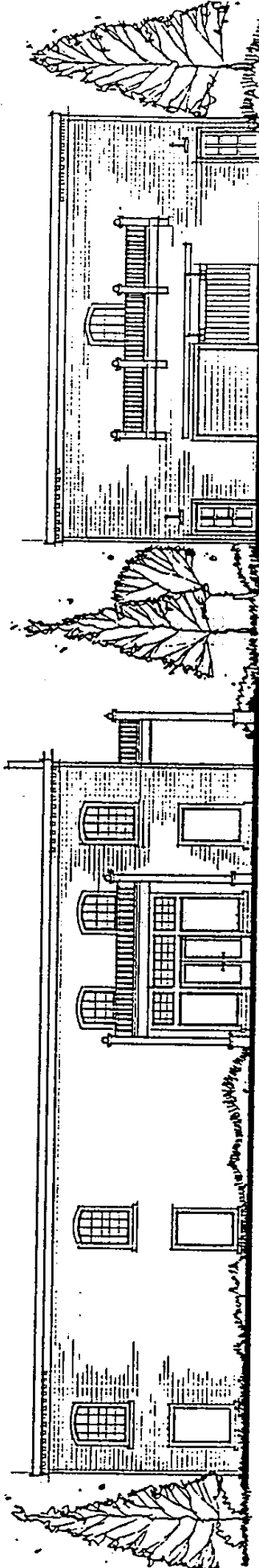
**RECEIVED**  
 JUN 17 2003  
 COUNTY OF TUOLUMNE  
 COMMUNITY DEVELOPMENT  
 DEPARTMENT

01/10/2013

HARLEY-DAVIDSON  
JAMESTOWN  
CALIFORNIA

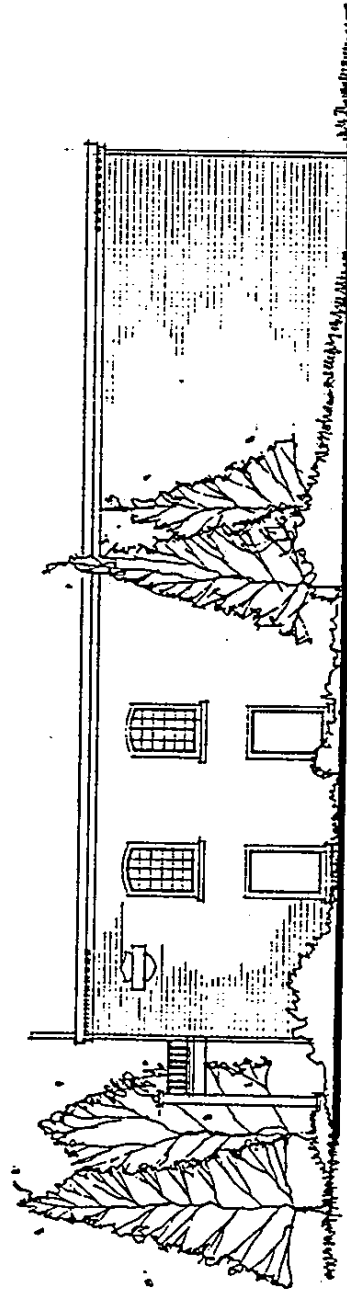


WEST ELEVATION



NORTH ELEVATION

EAST ELEVATION



SOUTH ELEVATION

ELEVATIONS  
SCALE 3/4" = 1'-0"



ARCHITECTURE PLUS, INC.  
1001 17TH STREET  
SUITE 404  
OAKLAND, CALIFORNIA 94612  
PH 510.771.4419

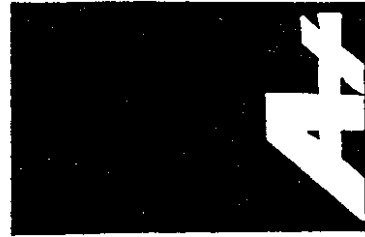
SAMPLE ELEVATIONS



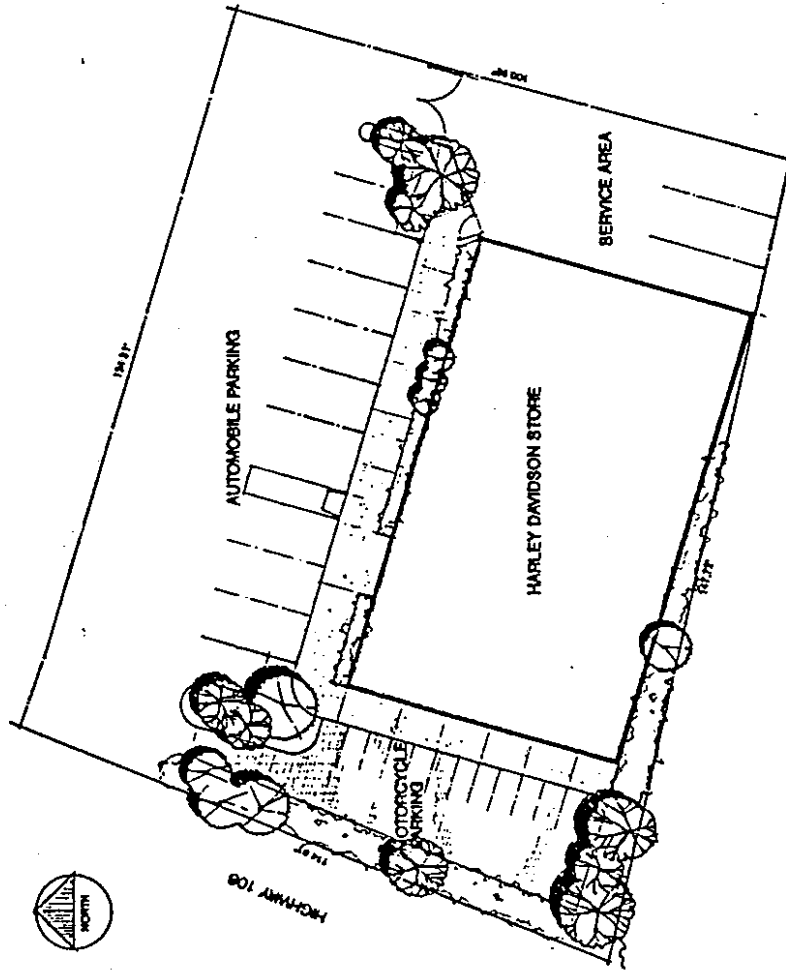
HARLEY-DAVIDSON  
**JAMESTOWN**  
 JAMESTOWN CALIFORNIA

**PROJECT DATA**

SITE 14,251 SQ FT / .31 AC  
 BUILDING 151,450 SQ FT  
 240,750 SQ FT  
 TOTAL 392,200 SQ FT  
 PARKING PROVIDED  
 MOTORCYCLES 13 SPACES  
 AUTOMOBILES 13 SPACES  
 TOTAL 26 SPACES  
 PARKING REQUIRED  
 26 SPACES



ARCHITECTURE PLUS, INC.  
 1001 17TH STREET, SUITE 44  
 JAMESTOWN, CA 94301  
 PHONE 925.938.1010  
 FAX 925.938.1010



**SITE PLAN**  
 SCALE 1/8" = 1'-0"

SAMPLE SITE PLAN